

DESIGN STANDARDS



Palm Beach Park of Commerce Association, Inc.

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REVIEW AND APPROVAL PROCESS

The approval process consists of three phases: preliminary approval, final approval and post construction approval.

Preliminary Review

The preliminary review application is designed to address the major components of each lot's development.

The preliminary application must be approved by the LDRB prior to submission to Palm Beach County for Site Plan Review approval. The LDRB will issue its approval in writing.

Final Review

The final review application is designed to address all of the development components which contribute to the overall high quality standard of development.

No permitting or construction shall commence without prior written approval of the LDRB.

Post Construction Review

All improvements requiring LDRB approval must be completed within twelve (12) months from commencement date of said Improvements, unless extended by the LDRB. The final step in the LDRB approval process will be the post construction approval. Requests for said approval must be made, prior to Certificate of Occupancy Inspection by Palm Beach County, to:

Palm Beach Park of Commerce Association, Inc.
15132 Park of Commerce Blvd. Suite 101
Jupiter, Florida, 33478

The LDRB will periodically inspect the construction for compliance with the approved plans. Should the owner and/or contractor wish to make any changes to the plans and specifications, such change orders must be submitted to the LDRB for approval.

The LDRB will make a final inspection of all improvements to determine compliance and completion of all approved construction. The LDRB will issue its approval in writing. A letter of approval from the LDRB must be obtained prior to applying for a Certificate of Occupancy from Palm Beach County.

**APPLICATION FORM / PALM BEACH PARK OF COMMERCE
APPLICATION FOR PRELIMINARY and FINAL REVIEW**

Owner(s):
 Name: _____

Engineer / Surveyor:
 Name: _____

Address: _____

Address: _____

Telephone: _____

Telephone: _____

Architect:
 Name: _____

Builder:
 Name: _____

Address: _____

Address: _____

Telephone: _____

Telephone: _____

Landscape Architect:
 Name: _____

Address: _____

Telephone: _____

Submittals Accompanying this Application:

Preliminary:	Yes	No
1. Application Fee (\$2,500).....	_____	_____
2. Site Survey (including trees 4” caliper or greater, with each tree identified), Topography / spot elevations, existing site conditions utilities, easements.....	_____	_____
3. Site Plan depicting all proposed Physical Structures.....	_____	_____
4. Architectural Floor Plans.....	_____	_____
5. Building Elevations (min. four (4)).....	_____	_____
6. All Elevations with Material Designations and Samples.....	_____	_____
7. Written Descriptions of General Color Schemes with Color Samples, Color Identification, and Manufacturer’s Name.....	_____	_____
8. Conceptual Landscape Plans.....	_____	_____
9. Engineering Plans (water, sewer, paving and drainage).....	_____	_____

Final:		
9. All items submitted in preliminary.....	_____	_____
10. Foundation Plans.....	_____	_____
11. Building Sections, including all roof mounted and other exterior mechanical Equipment.....	_____	_____
12. Wall Sections.....	_____	_____
13. HVAC Plans.....	_____	_____
14. Landscape Working Drawings.....	_____	_____
15. Signage Specifications / Design with schematic.....	_____	_____
16. Irrigation Plans.....	_____	_____

APPLICATION FORM / PALM BEACH PARK OF COMMERCE
APPLICATION FOR PRELIMINARY and FINAL REVIEW

REMARKS:

Signature of Owner

Signature of Applicant

(Type Name of Owner)

(Type Name of Applicant)

Street Address

Street Address

City, State & Zip Code

City, State & Zip Code

()
Telephone Number

()
Telephone Number

Applicant is:

() Owner () Optionee () Lessee () Agent () Contract Purchase

Date: _____

ACTION BY LAND DEVELOPMENT REVIEW BOARD:

- () APPROVAL
- () DISAPPROVAL
- () APPROVAL SUBJECT TO THE FOLLOWING CONDITIONS:

By _____
(Signature)

(Title)

Date: _____

APPLICATION FORM / PALM BEACH PARK OF COMMERCE
APPLICATION FOR PRELIMINARY and FINAL REVIEW

SUBMITTAL REQUIREMENTS

The following items must accompany the APPLICATION FOR PRELIMINARY / FINAL PLAN APPROVAL:

1. Three (3) complete sets of drawings, plans and specifications.
2. Filing Fee.

EACH SET OF DRAWINGS SHALL CONTAIN THE FOLLOWING INFORMATION:

Site Survey and Site Plan @ 1" = 50' or larger scale

- A. Easements, trees 4" caliper or greater, with each tree identified, adjacent streets showing dimensions and radii, property lines, drainage and utility lines, water bodies, catch basins, street names and numbers, if available.
- B. Building locations, ancillary structure(s), mechanical equipment, parking areas, driveways, walkways, fire hydrants, fences, screens, and utilities.
- C. Building setbacks, building dimensions, square footage.
- D. Proposed topography, spot elevations, drainage plans, and run-off flow arrows.

ARCHITECTURE

- A. Floor Plans: Floor Plans for all floors shall be submitted for approval; such plans shall be at either a scale of 1/4" = 1' 0" or larger.
- B. Exterior Elevations: Drawings of all exterior elevations shall be submitted for approval showing the materials and colors to be used with actual color samples attached. Such elevations shall be at a scale of either 1/4"=1' 0" or larger.

LANDSCAPE PLANS

- A. Overall planting plan showing existing and proposed trees, palms, shrubs, groundcovers, vines and grasses to be used, at 1"=20' or larger.
- B. Plant list to include common name, botanical name, plant height spread and quantity at time of installation.
- C. Irrigation Plan: Plans should indicate that the total planted lot is irrigated by an underground water system, to include all swale areas adjacent to property lines and roadway paving. Transplant areas may be irrigated by a temporary above grade system.
- D. Irrigation Well: Applications should include a copy of the SFWMD permit plus distance to nearest wetland, aerial showing distance from well location to wetland tract, drawing showing area of influence on wetlands, project draw down on wetlands. All drawings should show well location w/pump and appropriate landscape screening of pump.

ENGINEERING PLANS (WATER & WASTEWATER PLANS)

- A. All utility plans shall be prepared on 24"x36" sheets utilizing the following minimum scales:
 - i. 1" = 50' horizontal, 5' vertical for gravity Wastewater profile sheets
 - ii. 1" = 40' horizontal, 4' vertical for plans with up to two piping systems
 - iii. 1" = 30' horizontal, 3' vertical for plans with up to three piping systems
 - iv. 1" = 10' for lift station site plans
- B. All profiles shall utilize the grid format.
- C. An overall Master Plan sheet is required for projects requiring more than two water and wastewater plan sheets. The Master Plan sheet shall clearly show all water and wastewater mains, valves, fire hydrants, manholes, lift stations, metering facilities, connection points and existing facilities. Other information pertinent to the project, such as roadways, lakes, buildings, drainage system, etc., shall also be shown.
- D. Plans must indicate proposed finish floor/slab elevations, the number of building stories, and finished grade for roads, catch basins and other pertinent items. Plans shall also clearly indicate proposed driveway locations, streetlights and location of other utilities (electric, telephone, cable TV and gas). Detailed storm piping system shall be shown on utility plans, including yard drains, roof drains and exfiltration trenches.
- E. Plans must show proposed easements by shading or other easily distinguishable notation.
- F. All sanitary sewer data, including manhole invert and rim elevations; piping crossings and the invert and top of pipe elevations of each crossing must be clearly identified on the plan sheets at each location of occurrence. Clearance between the outside walls of the pipes/conduits, as well as pipe materials, must be clearly indicated on the drawings for each crossing. All sewer service lines crossing water mains and drainage lines shall be clearly identified on plan sheet with elevations called out in tabular form on the construction plans and on the record drawings.
- G. Profiles are required for gravity sewers and force mains.
- H. Profiles are also required for water mains with significant grade changes including, but not limited to, aerial crossings, jack and bore and subaqueous crossings.
- I. When separate profile sheets are used, all sewer lines must be depicted from manhole to manhole; pipe breaks between manholes will not be accepted. In addition, invert elevations must be clearly shown on profile sheets at each manhole.
- J. All manholes, fire hydrants and valves shall be numerically identified.
- K. All meter and backflow prevention assembly sizes must be clearly identified.
- L. If the project will be built in phases, the limits of each phase must be clearly indicated. Each phase shall be separated by a valve and/or manhole.
- M. Phase lines and match lines must be clearly delineated.
- N. Lift station engineering calculations (including 100 year storm data), if applicable.
- O. PBPOC Uniform Service Policy, Exhibit "B", Property Questionnaire.
- P. Wastewater Pretreatment Survey Questionnaire Exhibit "C" of the Uniform Service Policy,
- Q. Two (2) sets each of DEP potable water and wastewater permit applications.
- R. Two sets of NPBCID utility permit applications, if applicable.
- S. After the POA's plan approval, all revisions shall be noted in revision block.
- T. Copy of Capacity Reservation and proof of payment from PBPOC.

THE SITE

Applicable Codes

Development of all property within the Palm Beach Park of Commerce is governed by the Declaration of Protective Covenants, Conditions and Restrictions and agencies of Palm Beach County and the State of Florida. It is the responsibility of the lot owner to verify and conform to all requirements of public agencies and to obtain all necessary permits prior to commencement of development.

Lot Coverage

Maximum lot coverage is established in the Planned Industrial Park District Property Development Regulations as contained in the Palm Beach County Unified Land Development Code as amended from time to time.

Setbacks

Setback requirements are established in the Planned Industrial Park District Property Development Regulations as contained in the Palm Beach County Unified Land Development Code as amended from time to time.

SITE SIGNAGE

Signage Prohibitions

- No signs shall be permitted anywhere within the property without prior, written approval of the LDRB as to size, color, design, location and content.
- No moving or flashing lights shall be permitted.
- No messages shall be painted directly onto any exterior wall or building surface.

Free-Standing Major Identification Signs

The following guidelines shall apply to all single user sites within the PIPD:

Architectural Design:

All signs shall be designed integrally with the building architecture, colors, and the landscaping planned for the entrance area.

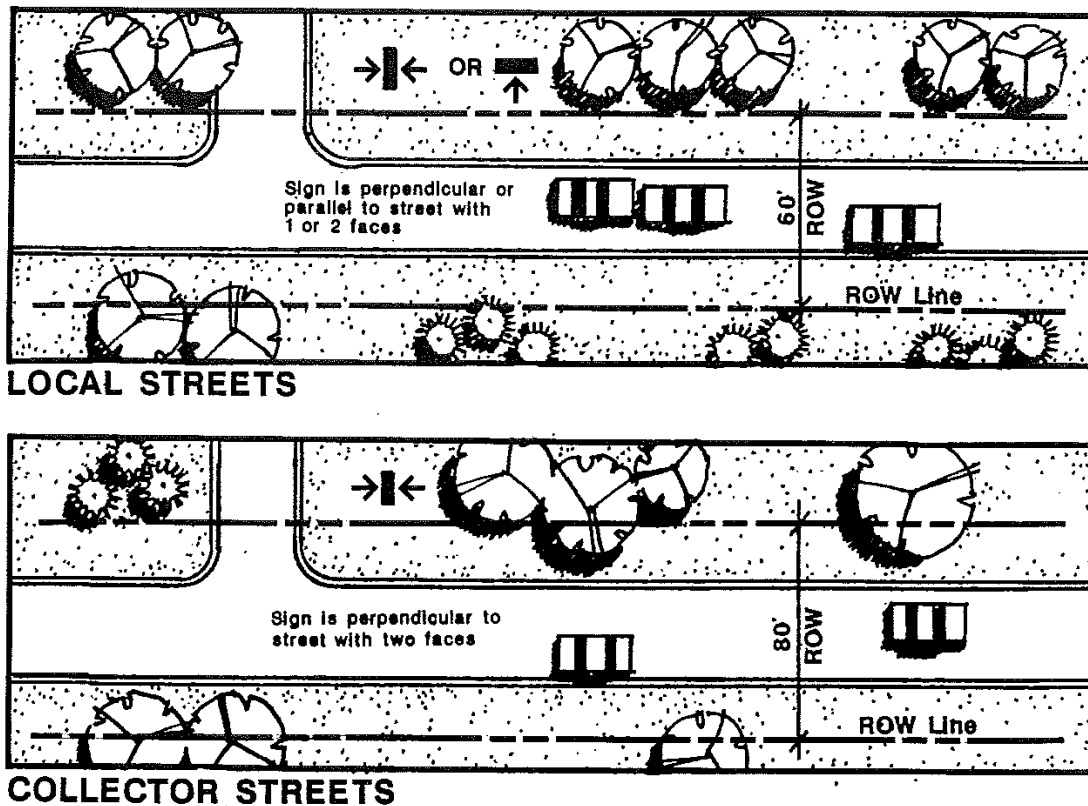
Number of signs: Only one major identification sign shall be permitted per site.

Location: At the major entrance with a minimum setback of 5 feet from the R.O.W.

Number of faces: On collector streets (80 feet of R.O.W. or greater) signs shall be required to have two faces.
On local streets (60 feet R.O.W. or less) signs may have one or two faces.

Orientation: On collector streets (over 80 feet of R.O.W.) signs shall be perpendicular to the abutting roadway.
On local streets (60 feet of R.O.W.) signs may be perpendicular or parallel to the abutting roadway. (See Diagram 1).

**DIAGRAM 1
MAJOR ID SIGN LOCATION**



Maximum Height: 8 feet (measured from proposed grade)
 Maximum Length: 12 feet

Maximum
 Message Area: 60 square feet

Message
 Limitations: Copy on the major identification sign shall be limited to the following:

1. Company Logo/symbol
2. Name of Company or building
3. Descriptive tag line consisting of Limited copy: e.g. Regional Headquarters
4. Street address

The words "Palm Beach Park of Commerce", or any combination thereof, may not be used For any of the following without the LDRB's written consent:

- 1.) In the name of any building.
- 2.) In the name of any business.
- 3.) In any advertising.
- 4.) In any dealings with the public.

Message
 Requirements: Each major identification sign shall include, at a minimum, the street address number. Including the street name is optional.

Message Type

- Size Limitation:
1. Company logo/symbol: 1.5 times maximum letter size Proposed
 2. Name of company or building: 15 feet maximum
 3. Descriptive tag line: 6 feet maximum
 4. Street address: 3 feet maximum

Mounting

Hardware: No mounting hardware is to be visible.

Lighting:

Both ground lighting and internal illumination will be permitted. Ground mounted fixtures shall be screened from view by plant material, berming, or architectural materials. All electrical hardware is to be hidden from view.

Building Signage

Wall Signs

Signs shall be affixed to the front of the building, facing its street frontage, mounted flush to the building facade. No sign shall extend above a building's roof line.

The maximum number of walls signs shall be limited to the number of business tenants occupying a building.

Maximum Length for single tenant buildings shall be a maximum of one third (1/3) of the building's front elevation.

Maximum Signage Area:

The maximum square footage of the message area shall equal the maximum type size allowed multiplied by the maximum sign length allowed, as specified herein.

Message Limitations:

Copy shall be limited to the following:

1. Company logo/symbol
2. Name of Company or building

Message Type Size Limitations:

1. Company logo/symbol: 1.5 times maximum letter size proposed
2. Name of Company or building:
 - a. buildings with front elevations less than 24 feet shall be restricted to a maximum letter height of 24 inches;
 - b. buildings with front elevations over 24 feet shall be restricted to a maximum letter height of 30 inches

Letter Fabrication Technique:

All letters shall be channel cut and mounted directly onto the building facade with all mounting hardware hidden from view.

Fabricator/Supplier:

The sign must be manufactured and installed by a vendor approved by the LDRB and according to specifications approved by the LDRB.

Temporary Signage

Temporary construction signage shall be permitted only during the construction of the permanent facility. One construction sign shall be permitted per site, and shall be located parallel to the street, a minimum of 5 feet from the property line, and adjacent to the construction trailer, if practical. The construction sign shall be a maximum of 6 feet high and 8 feet wide.

Other Site Signage

All other site signage shall be designed integrally with the building architecture, its colors and the sites landscaping, and submitted for review by the LDRB. Developers of multi-tenant sites shall prepare a signage plan showing how individual tenants will be identified. Such signs shall be limited to directories located a minimum of 50 feet from the front Property line and identification signs located near the front door entrance of each establishment.

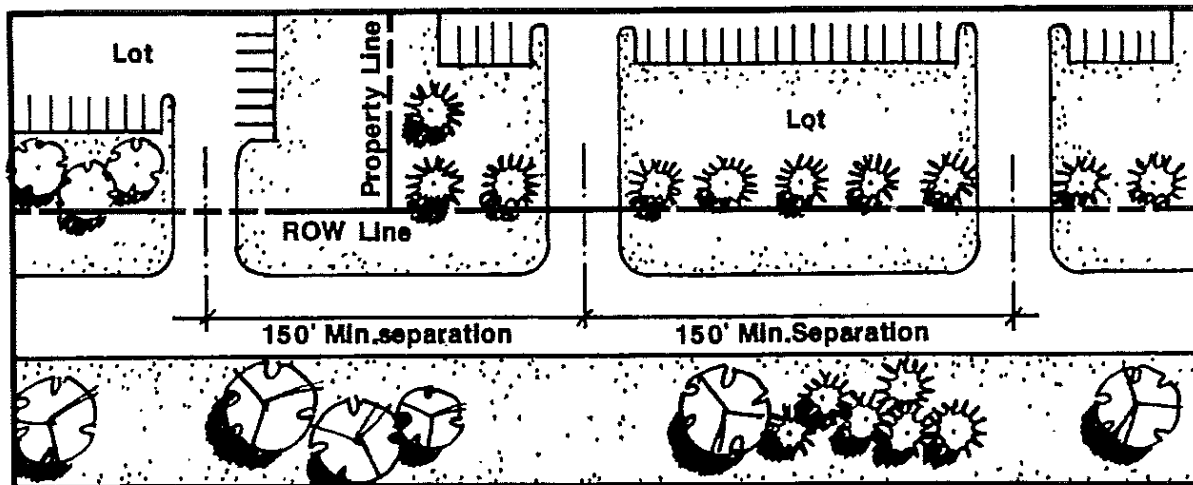
Driveways

Driveways will be permitted as follows:

Lot Frontage	Maximum No. of Driveways
0 – 250 feet	1
250 – 500 feet	2
500 feet +	3 max

Driveways shall have a minimum separation of 150 feet including abutting properties, unless otherwise approved by the LDRB. (See Diagram 2).

**DIAGRAM 2
DRIVEWAY LOCATION**

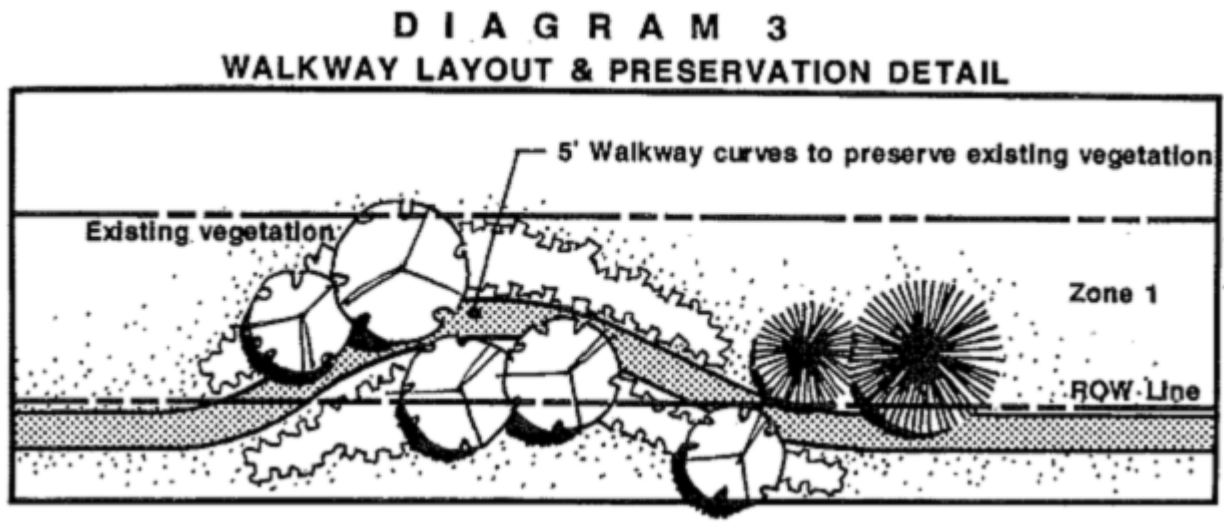


Parking Requirements

The minimum number of parking spaces shall be as per the Planned Industrial Park District Property Development Regulations as contained in the Palm Beach County Unified Land Development Code as amended from time to time.

Walkways

Where applicable, each lot owner shall be responsible for the construction of a 5 foot concrete sidewalk along the road side of the R.O.W. adjacent to his property unless a variance is granted by Palm Beach County (See Diagram 3).



Loading Areas

Off-street loading spaces shall comply with the Planned Industrial Park District Property Development Regulations as contained in the Palm Beach County Unified Land Development Code as amended from time to time.

Loading areas are only permitted to face the side or rear property line and shall be designed so as to not interfere with movement of traffic on site; i.e., loading areas shall not be within required drives of parking areas. Loading docks shall be located and screened to minimize the visibility from any off-site views.

Exterior Storage and Trash Facilities

Exterior storage, trash and garbage facilities, shall be screened to minimize the visibility from any off-site views. Trash and garbage facilities shall not be placed in any front setback.

Height and types of screening shall be approved by the Land Development Review Board (LDRB) based on the type of item to be screened.

Fencing/Walls

Fencing/walls shall comply with all applicable codes and ordinances as established by Palm Beach County and the Northern Palm Beach County Water Control District. Additional requirements for fencing within the Palm Beach Park of Commerce PIPD have been established as follows:

Maximum Height:	6 feet in front setback/8 feet on sides and rear
Location:	Per the Planned Industrial Park District Property Development Regulations as contained in the Palm Beach County Unified Land Development Code as amended from time to time.
- Front (ROW)	Back of required landscape buffer-can't be located on the inside edge of buffer unless extra room is provided internally as shrubs are required on both sides of the fence.
- Side Interior	May be on the property line in a compatibility buffer.
- Side Street	Back of required landscape buffer-can't be located on the inside edge of buffer unless extra room is provided internally as shrubs are required on both sides of the fence.
- Rear	May be on the property line in a compatibility buffer.
- Along Beeline Highway	Back of 25 foot landscape buffer- can't be located on the inside edge of the buffer unless extra room is provide internally as shrubs are required on both sides of the fence in the ROW buffer.
Material:	<ul style="list-style-type: none"> - Masonry - Concrete - Chain link - Vinyl coated chain link within ROW Landscape Buffers

Color: To be compatible with building color.

Lighting

The developer will provide street lighting. Each lot's site lighting shall consist of similar fixtures. For purposes of accent lighting a different lamp type may be used. Permitted Lighting elements within each landscape zone are as follows:

Zone 1 - Landscape and signage accent lights only

Zone 2 - Light standards not to exceed 30 feet in height, Metal Halide lamps or LED (white light) are required in all Commercial Areas and encouraged in the Light and Heavy industrial Areas.

- Landscape and architectural accent lights.

Zone 3 - All of the above

- Pole or building mounted flood lights

(See THE LANDSCAPE, under landscape Zones Concept, for zone definitions).

In all cases, lighting type and location shall be designed to minimize any off site impacts on adjacent properties of public roads and be in compliance with Palm Beach County's lighting standards. Architectural, landscape architectural or signage accent lights shall be placed in planting areas, screened by an architectural element, or installed below grade.

Utilities

All utility connections, including electrical and telephone connections shall be made underground from the nearest available source. Transformers, electric or gas meters of any type, or other apparatus shall not be mounted on any power pole or the outside of any building, but shall be placed at grade or within the building. Transformers or similar above ground facilities shall not be placed within the front yard setback, and shall be properly screened with plant material or an architectural feature.

Mailboxes

All free standing mail boxes shall be located a minimum of 50 feet from the front property line per USPS requirements. Contact Management Office for order form when ready for installation.

Temporary Facilities

Temporary facilities, other than construction related facilities, shall not be permitted. Construction facilities shall not be located within the front yard setback and shall be removed immediately upon completion of the permanent facility.

THE BUILDING

Exterior Materials

All improvements in the Palm Beach Park of Commerce shall be constructed of high-quality, permanent materials and shall be designed to be durable and easily maintained. All buildings and other structures within the Palm Beach Park of Commerce shall have exterior walls constructed of attractive materials.

Accessory buildings and enclosures, and any structures that are appurtenant to any building, shall be of similar or compatible materials, design and construction.

Height Limitations

The maximum building height shall be as allowed per the Planned Industrial Park District Property Development Regulations as contained in the Palm Beach County Unified Land Development Code as amended from time to time.

Screening of Equipment

All mechanical equipment, including roof mounted, shall be enclosed or screened by opaque screening so as to be an integral part of the architectural design and not to be visible from any public R.O.W.

Antennas

Radio or television antennas or other similar equipment shall not be located on the roof of any building without the approval of LDRB. Location, configuration and height shall also be subject to all applicable government approvals.

THE LANDSCAPE

Since a variety of architectural styles and materials will be allowed at the Palm Beach Park of Commerce it is important that similar plant materials, particularly street trees and plantings, be used to create visual continuity within the Park.

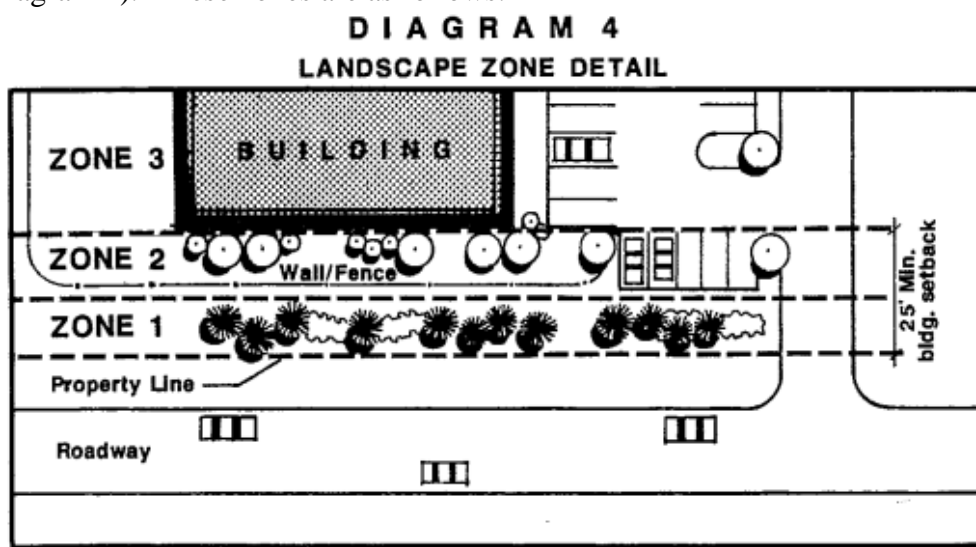
Landscape Concept

The planting theme adopted for the Palm Beach Park of Commerce is intended to take advantage of the continuity that naturally exists on the site through the preservation and enhancement of the native vegetation and the planting of compatible nursery grown material.

Zones Concept

To clarify the intended planting concept three (3) zones have been established along with guidelines for the design of each.

(See Diagram 4). These zones are as follows:



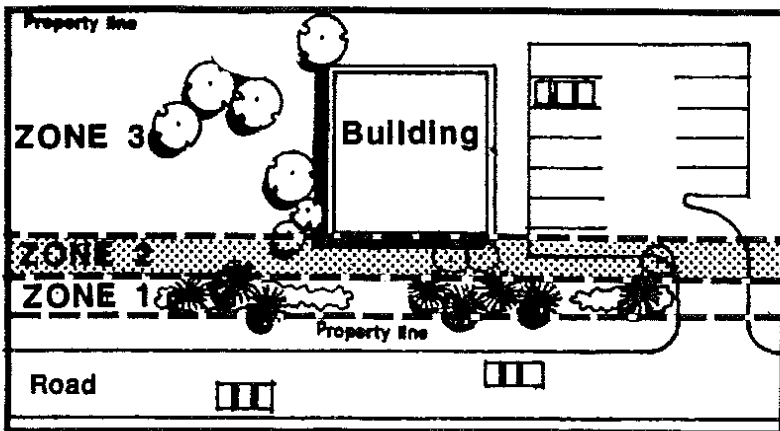
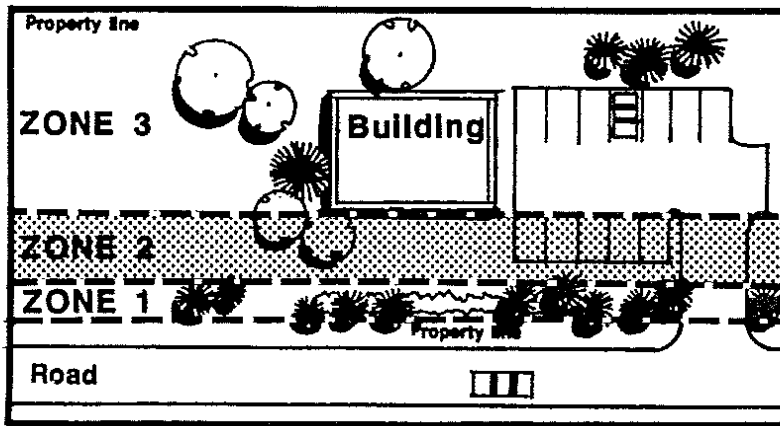
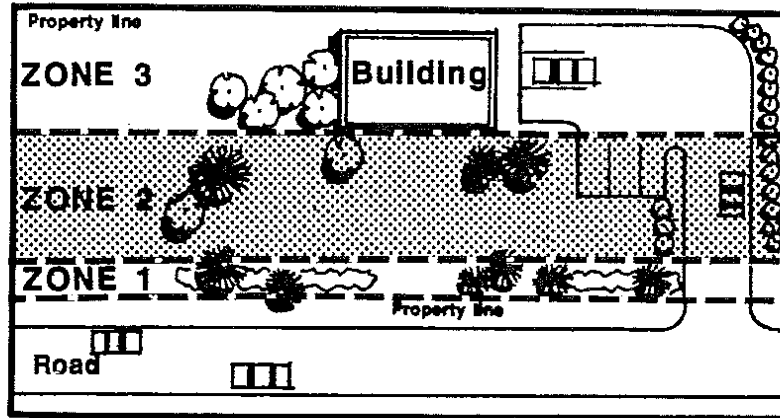
Zone 1:

Zone 1 will include all land from the edge of the right of way to the back of a 15 foot landscape strip required along the front and side corner of all properties. (See Diagram 5). Note: This area is considered the ROW Buffer per the PBC ULDC.

Zone 2:

Zone two (2) will consist of areas within the site beyond the required landscape strip up to the front of the principal building. (See Diagram 6).

**DIAGRAM 6
ZONE 2 VARIATIONS**



Zone 3:

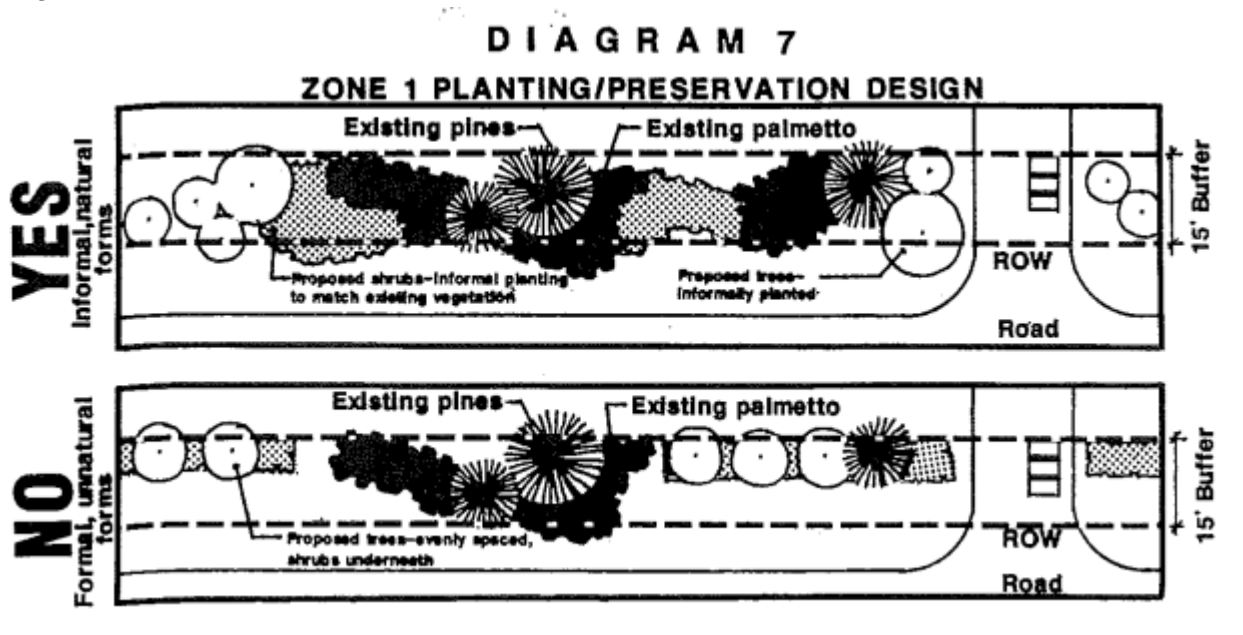
Zone Three (3) will consist of all other areas of the site.

Zone 1
Buffer Trees

Canopy/shade trees are of particular importance to the overall aesthetic impact of the PBPOC. They will provide the major unifying element along the PBPOC streets and will act as a visual link to the native vegetation on site. These trees can also act to soften less attractive architectural elevations, as well as screen service and storage areas. These trees can either be existing, nursery grown, or transplanted from on site as long as they are on the approved Zone 1 plant list. (See approved Plant Material List).

Each lot owner will be responsible for providing tree planting along the applicable roadway frontage. All required tree plantings must be within 15 foot of the abutting street R.O.W. A ratio of one (1) tree per 25 feet of roadway frontage will determine the number of street trees required per street frontage. To further enhance the natural wooded character of the site, these trees should be planted in clusters, versus straight rows. (See Diagram 7 below). In order to allow for proper growth, trees should not be planted any closer together than 15 feet for Oaks, 8 feet for wax myrtle and Pines, and 5 feet for Sabal palms.

Nursery grown buffer trees are to be 12 feet in height and 6 feet in spread at the time of installation. Transplanted trees can vary in height, but shall not be any shorter than 10 feet in height. Per the Palm Beach County ULDC existing native pines can be relocated to Zones 1, 2 and 3



Zone 1
Shrubs

In addition to canopy/shade trees, a shrub mass is required within the 15 foot Zone 1 landscape buffer. Small nursery material shall be planted no more than 24 inches on center. Large material shall be planted no more than 48 inches on center. A minimum of two (2) rows of shrubs shall be planted. These Shrub masses, like the Canopy/shade trees, should be designed in clusters and in informal “drifts”. Whenever possible, they shall be incorporated into existing saw palmetto masses, and be planted to create a layered effect, with taller plants along the back of the buffer and lower plants in the front along the R.O.W. (See Diagram 7).

Existing saw palmettos should be preserved and enhanced. A Credit shall be given at a ratio of 1 preserved plant to 2 nursery plants.

Berms

Berms along public roads are discouraged because of their inconsistency with the existing character of the site. Where no vegetation exists, limited berming will be permitted. Berms along roadways should be built with maximum side slopes of 4:1 Berm heights should not exceed '3' and are intended to create a natural rolling effect.

Zone 2

This area is considered a transitional zone from the native masses near the public roads to the building area. Plant material choices used here are to a great extent the decision of the owner and his designer.

The use of canopy/shade trees, however, is limited to those plants listed in the Zone 1 and Zone 2 approved plant list. (See Plant List)

Where possible, existing trees and shrubs should be preserved. Transplanted and nursery grown native trees should be used to extend the continuity of the Zone 1 theme further into the site.

Zone 3

As in the first two zones, the preservation of existing trees and shrubs in this zone is strongly encouraged. Where required by the Palm Beach County ULDC Landscape Section, canopy/shade trees are to be 12 feet in height and have a spread of 6 feet at installation. Trees should be clustered in minimum groups of three (3) with spaces between clustering no greater than 100 feet. In Zone 2 and 3 where an existing side property landscape strip exists, no additional landscape material is required. However, foundation planting shall be required per current PBC ULCD requirement in Zones 2 and 3.

Transplanting

Owners are encouraged to preserve existing vegetation through careful site planning and protective construction techniques. When preservation is not possible the transplanting of trees and shrubs (i.e. Wax myrtle, Pines and Saw palmettos) by mechanical means is suggested. Trees transplanted will be credited toward planting requirements at a ratio as described in the Palm Beach County Unified Land Development Code. Pine trees should be transplanted for use throughout the site but particularly along the PBPC roadways.

Open Space

Native grasses and Saw palmetto stands are considered desirable alternatives to sod or seed in open spaces. Where these conditions do not exist, approved varieties of sod or seed should be used or substituted with a combination of native grass and wild flower seed.

Irrigation

Irrigation is required for all newly landscaped areas. In preserve areas or transplant sites, however, temporary irrigation may be provided to ensure plant survival. The lot owner is responsible for the design, installation, maintenance, and continued utilization of all irrigation systems, temporary or permanent.

APPROVED PLANT MATERIAL LIST

ZONE 1 LARGE TREES

<i>Acer rubrum</i>	Florida Red Maple
<i>Pinus elliotti densa</i>	Slash Pine
<i>Bursera simaruba</i>	Gumbo Limbo
<i>Quercus Virginia</i>	Live Oak
<i>Ilex x attenuate 'East Palatka'</i>	East Palatka Holly
<i>Ilex x attenuate 'Savannah'</i>	Savannah Holly
<i>Bursera simaruba</i>	Magnolia grandiflora
<i>Ilex cassine</i>	Pinus elliotti densa
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Tabebuia heterophylla</i>	Pink Trumpet Tree
<i>Taxodium distichum</i>	Bald Cypress (low areas)

PALMS

<i>Sabal palmetto</i>	Sabal Palm
<i>Roystonea spp</i>	Royal Palm
<i>Washingtonia robusta</i>	Washington Palm
<i>Wodyetia bifurcate</i>	Foxtail Palm

ACCENT TREES

<i>Myrica cerifera</i>	Wax Myrtle
<i>Ilex cassine</i>	Dahoon Holly
<i>Conocarpus erectus</i>	Green buttonwood

SHRUBS

<i>Juniperus chinensis</i>	Phitzer Juniper
'Phitseriana'	Oleander
<i>Nerium oleander</i>	Dwarf Oleander
<i>Nerium Oleander</i>	Pittosporum
<i>Pittosporum tobira</i>	Pittosporum tobira
'varigated'	Varigated Pittosporum
<i>Pyracantha coccines</i>	Pyracantha
<i>Raphiolepis indica</i>	Indian Hanthem
<i>Viburnum suspensum</i>	Viburnum
<i>Eleagms pungens</i>	Eleagms
<i>Photinia serulata</i>	Red Tip Photina
<i>Chrysobalanus icaco spp</i>	Cocoplum (green & red)
<i>Cartaderia selloana</i>	Pampas Grass
<i>Serenea repens</i>	Saw Palmetto
<i>Conocarpus erectus var. sericeus</i>	Silver Buttonwood
<i>Conocarpus erectus</i>	Green Buttonwood
<i>Cordyline spp.</i>	Ti Plants
<i>Crinum spp</i>	Crinum
<i>Eugenia spp.</i>	Stopper
<i>Hamelia patens spp.</i>	Firebush
<i>Ilex vopmitoria</i>	Dwarf Yaupon Holly
<i>Jasmine spp.</i>	Jasmine
<i>Juniperus chinensis</i>	Parsons Juniper

Ligustrum japonicum
Muhlenbergia capillaris
Myrcianthes fragrans
Myrica cerifera
Rhapiolepis spp.
Tripsacum dactyloides
Tripsacum floridanum
Viburnum spp.
Zamia pumila

Wax Privet
Muhly Grass
Simpson's Stoper
Wax Myrtle
Indian Hawthorn
Fakahatchee Grass
Florida Gama Grass
Viburnum
Coontie

ZONE 2

ALL ZONE 1 PLANT MATERIAL, ADDITIONALLY

LARGE TREES

Bucida buceras
Swietenia inahagani
Ulmus spp.
Bursera Simaruba
Ficus rubiginosa
Pongamia pinnata

Black Olive
Mahogany
Elms
Gumbo limbo
Rusty fig
Pongam

WATER / WASTEWATER

Basis

The standards set forth herein are intended to provide a basis for design and construction. Applicable Federal, State, County and local laws and regulations should be considered concurrently with this text. These standards complement the Palm Beach Park of Commerce Association Inc. Uniform Service Policy on Water, Wastewater and Fire Protection. In the case of conflict between these standards and the Uniform Service Policy, the requirements of the Uniform Service Policy shall prevail. Both these Design Standards and the Uniform Service Policy are subject to change without notice. It is the Engineer of Record's responsibility to assure that all protocols, procedures and submittals meet the requirements of the Design Standards and Uniform Service Policy in effect at the time of making submittal or implementing a protocol or procedure.

Preparation and Approval of Project Documents

It shall be the responsibility of the Owner's engineer to obtain record information for existing water and wastewater infrastructure and prepare plans in accordance with the minimum standards shown herein. Record information shall be field verified prior to design and confirmed prior to construction. All construction plans shall be approved by the PBPOC Land Development Review Board (LDRB), acting on behalf of the POA. The approval shall be valid for one year. This approval does not relieve the Owner of the responsibility of meeting the POA's minimum design and construction standards shown herein or the requirements of the PBPOC Uniform Service Policy. No changes shall be made on approved plans without specific written POA concurrence. Revisions which directly or indirectly impact water and/or wastewater design (e.g., changes in property use in whole or part, adding or deleting plumbing fixtures in buildings, site plan changes, etc.) void the plan approval. Revised plans are required for review and approval, subject to the prevailing PBPOC Uniform Service Policy and Design Standards as well as new plan review fees. No construction shall start prior to a pre-construction conference to be held at a location designated by the POA.

Utility Easement/Utility Location Guidelines

The location and size of utility easements shall be determined using the following guidelines:

- (a) The Palm Beach County Health Department's requirements for design, construction, clearance and separation of water, wastewater and other facilities shall be strictly observed in addition to those outlined in these Standards.
- (b) Water and wastewater mains shall be located a minimum of ten (10) feet horizontal from other public utilities or privately owned mains when installed parallel, unless specifically approved by POA. A minimum of ten (10) feet of horizontal separation is also required from structures, buildings, walls, and fences, unless specifically approved by the POA in writing. Phone lines shall cross the POA's water/wastewater facilities with a minimum of twelve (12) inch vertical clearance. Gas mains and electric power cables shall cross the POA's water/ wastewater facilities with a minimum of eighteen (18) inch vertical clearance.
- (c) Structures and landscaping should be placed no closer than ten (10) feet to a water/wastewater pipe or facility. The POA may consent, on a case by case basis, to the location of trees closer than ten (10) feet to water/wastewater facilities if an approved root barrier system is installed a minimum distance of five (5) feet from the water/wastewater facilities by the Owner's landscaping contractor.

Approved Materials and Equipment

The materials and equipment set forth in Section III.I, Section IV.J and Exhibit “D” of the Seacoast Utility Authority (SUA) “Minimum Construction Standards and Specifications for Water Distribution Systems, Sewer Collection Systems, Reclaimed Water Systems,” latest revision (hereafter, the “Specifications”) are approved for use within the PBPOC POA potable water and wastewater systems. Any party constructing improvements to the PBPOC POA potable water and wastewater systems or which will become part of the PBPOC POA potable water and wastewater systems following construction shall utilize materials and equipment set forth in the Specifications. The POA may consent, on a case by case basis and upon written request with supporting documentation, to deviations from the materials and equipment required by the Specifications. Any references in the Specifications to the authorities and/or responsibilities of the “Authority” or the “Authority’s” personnel, representatives or agents shall be interpreted to mean the PBPOC POA or its designated agent. Any references in the List to the authorities and/or responsibilities of the “Developer” or the “Developer’s” personnel, representatives or agents shall be interpreted to mean the Owner or its designated agent.

Exceptions

1. Section III.I.1.a – The PBPOC Property Owners Association Public Water System (POAPWS) shall allow the use of SDR-18 (minimum) restrained joint polyvinyl chloride (PVC) pipe for sizes up to and including 12 inch for pressure pipe. The pipe shall conform to AWWA C-900 and NSF-61 and have a minimum 235 psi pressure rating.
2. Section III.I.1.a – The PBPOC POAPWS shall allow the use of high density polyethylene (HDPE) piping for pressure pipe installed via directional drill/bore method. The pipe shall be fusible HDPE, PE 4710, DR 11 minimum conforming to AWWA C-906 and NSF-61 and in minimum 40-foot standard lengths.
3. Section III.I.1.c – The use of thrust blocks is not allowed.
4. Section III.I.2.a – The minimum size for single services shall be ¾”.
5. Section III.I.2.b – This section is removed in its entirety.
6. Section IV.J.5.a – The PBPOC POAPWS shall allow the use of SDR-18 (minimum) restrained joint polyvinyl chloride (PVC) pipe for sizes up to and including 12 inch for pressure pipe in all areas. The pipe shall conform to AWWA C-900 and NSF-61 and have a minimum 235 psi pressure rating.
7. Section IV.J.5.a – The PBPOC POAPWS shall allow the use of high density polyethylene (HDPE) piping for pressure pipe installed via directional drill/bore method. The pipe shall be fusible HDPE, PE 4710, DR 11 minimum conforming to AWWA C-906 and NSF-61 and in minimum 40-foot standard lengths.
8. Section IV.J.5.c – The use of thrust blocks is not allowed.
9. Exhibit “D” – All references to reclaimed water main(s) and reclaimed main(s) are not applicable.
10. Exhibit “D,” Section A.1 – Sub-item “c” is added as follows: Push-on Joint PVC pipe, AWWA C-900, SDR-18 min., 235 psi min., NSF-61: 1. JM Manufacturing Company* 2. Diamond Plastic Corporation* 3. CertainTeed* 4. North American Pipe Corp.; NAPCO* 5. IPEX, Inc.** 6. National Pipe and Plastics** 7. Sanderson Pipe** [*No pipe deflection at the joint allowed. **Up to two (2) degrees deflection at pipe joint allowed.]
11. Exhibit “D,” Section A.1 – Sub-item “d” is added as follows: Restrained Joint PVC pipe, AWWA C-900, SDR-18 min., NSF-61. D1. Non-metallic Modular Joint Restraint Design 1. CertainTeed Certalok D2. Belle Integrated Metallic Ring Restraint Design 1. JMM Eagle Lok
12. Exhibit “D,” Section A.1 – Sub-item “e” is added as follows: HDPE pipe (Fusible HDPE, PE 4710, AWWA C-906); minimum 40 feet standard lengths, DR 11 minimum, 3” and larger 1. CP Chem 2. JM Manufacturing Company 3. IPEX, Inc. 4. Polypipe by Dura-Line 5. KWH Pipe by Uponor Infra Ltd.

13. Exhibit “D,” Section A.2 – Sub-item “d” is added as follows: Push-on Joint PVC pipe, AWWA C-900, SDR-18 min., 235 psi min., NSF-61: 1. JM Manufacturing Company* 2. Diamond Plastic Corporation* 3. CertainTeed* 4. North American Pipe Corp.; NAPCO 5. IPEX, Inc.** 6. National Pipe and Plastics 7. Sanderson Pipe** [*No pipe deflection at the joint allowed. **Up to two (2) degrees deflection at pipe joint allowed.]
14. Exhibit “D,” Section A.2 – Sub-item “e” is added as follows: Restrained Joint PVC pipe, AWWA C-900, SDR-18 min., NSF-61. D1. Non-metallic Modular Joint Restraint Design 1. CertainTeed Certalok D2. Belle Integrated Metallic Ring Restraint Design 1. JMM Eagle Lok
15. Exhibit “D,” Section A.2 – Sub-item “f” is added as follows: HDPE pipe (Fusible HDPE, PE 4710, AWWA C-906); minimum 40 feet standard lengths, DR 11 minimum, 3” and larger 1. CP Chem 2. JM Manufacturing Company 3. IPEX, Inc. 4. Polypipe by Dura-Line 5. KWH Pipe by Uponor Infra Ltd.
16. Exhibit “D,” Section B.5.a.1 – This section shall be amended to include PVC mains.
17. Exhibit “D,” Section II.A.1 – This section shall be amended to include ¾”.

Potable Water and Wastewater System Design and Construction Standards

Any party constructing improvements to the PBPOC POA potable water and/or wastewater systems or which will become part of the PBPOC POA potable water and/or wastewater systems following construction, shall comply with the SUA “Minimum Construction Standards and Specifications for Water Distribution Systems, Sewer Collection Systems, Reclaimed Water Systems,” (hereafter, the “Standards”), as appropriate and as set forth in the SUA Service Policy, latest revision. Any references in the Standards to the authorities and/or responsibilities of the “Authority” or the “Authority’s” personnel, representatives or agents shall be interpreted to mean the PBPOC POA or its designated agent. Any references in the List to the authorities and/or responsibilities of the “Developer” or the “Developer’s” personnel, representatives or agents shall be interpreted to mean the Owner or its designated agent.

Notwithstanding anything to the contrary herein, the LDRB may authorize deviations from the Standards if, in the opinion of the LDRB, said deviations are necessary to protect the health, safety, or welfare of the public or to avoid an undue financial and/or maintenance burden on the PBPOC POA.

Exceptions

Section I – General

1. This section shall be replaced in its entirety by the corresponding prevailing PBPOC Uniform Service Policy and Design Standards requirements.

Section II – Design/Construction Plan Requirements

1. This section shall be replaced in its entirety by the corresponding prevailing PBPOC Uniform Service Policy and Design Standards requirements.

Section III - Water Distribution System

1. The requirements of this Section shall apply to the PBPOC POAPWS’ non-transient, non-community water system.
2. All references to residential or multi-family dwelling requirements are not applicable and shall be removed from this Section.
3. Section A.5 shall be revised to read “Approved backflow prevention devices are required on each and every water service connection in accordance with specifications shown in Exhibit “I” in this manual. Backflow devices shall be installed on the outlet side of the water meter; no tees or other branch fittings are allowed between the water meter and backflow device. In the absence of special circumstances, which would cause a great degree for cross connections, the general backflow device required is as follows: (a) Potable water connection – reduced pressure zone device; (b) Dedicated process water connection – double check valve device; (c) Dedicated fire

- line – Double detector check valve device; (d) Temporary water – reduced pressure zone device.”
4. The last sentence of Section A.6 shall be stricken.
 5. The first sentence of Section A.7.b shall be stricken.
 6. The first sentence of Section A.7.c shall be revised to read “In commercial areas when...”
 7. The first sentence of Section B shall be revised to read “Hydraulic designs shall be based on the prevailing minimum guaranteed water system pressure at the closest point of connection between the PBPOC POAPWS’ water system and the Palm Beach County Water Utility Department’s water system.”
 8. Section C.3 shall be revised to read “Any pavement cut shall be replaced in accordance with the requirements of Northern Palm Beach County Improvement District’s (NPBCID) Pavement Replacement Detail as provided in their Engineering Standards Manual, latest revision.”
 9. The last sentence of Section C.6 shall be stricken.
 10. Section E.2 shall be revised to read “...procedure outlined in ANSI/AWWA C-600 Latest Revision. Record drawings in accordance with the prevailing PBPOC Uniform Service Policy and Design Standards must be accepted prior...”
 11. The last two sentences of Section H.3 shall be stricken.
 12. Section I shall be amended described in the Water/Wastewater Approved Materials and Equipment section of these Design Standards.
 13. Section J.2 shall be revised to read “Each fire hydrant shall be capable of delivering a flow as prescribed by Palm Beach County Fire Rescue with a residual pressure...”
 14. Section L.3 shall be revised to read “The PBPOC POA shall furnish and have installed all meters.”
 15. Section L.4 shall be revised to read “The Developer/Customer shall be responsible for providing and resetting the meter box, if required, after the...”
 16. Section M shall be amended to add the following language at the end of the section: “Backflow prevention devices will not be owned or maintained by the POAPWS. The initial required testing and certification of backflow prevention devices shall be scheduled with the POA prior to the installation of meter(s) and shall be the financial responsibility of the Owner or the Owner’s utility contractor. Required subsequent annual testing and certification of backflow devices will be handled by the POAPWS; however, any required repairs are the responsibility of the Owner.
 17. Section N.2 shall be removed in its entirety.

Section IV – Sanitary Sewer System

1. All references to residential or multi-family dwelling requirements are not applicable and shall be removed from this Section.
2. The last sentence of Section A.1 shall be revised to read “Special allowance may be made for sewage from industrial facilities and other large projects.”
3. Section A.3 shall be revised to read “Industrial wastes from any source shall not be connected...”
4. The last sentence of Section B.11.e shall be amended to add PVC force mains and fitting as acceptable materials.
5. Section D.9 shall be revised to read “...inverted crown roadways or parking lots), the PBPOC POAPWS may require watertight inserts...”
6. Sections E.12.h through m shall be removed in their entirety.
7. Section F.3 shall be revised to read “Any pavement cut shall be replaced in accordance with the requirements of Northern Palm Beach County Improvement District’s (NPBCID) Pavement Replacement Detail as provided in their Engineering Standards Manual, latest revision.”
8. The last sentence of Section F.7 shall be stricken.
9. Section F.13 shall be revised to read “All joints and conflicts in the force main...”
10. Section G shall be removed in its entirety.
11. Section H.2.a shall be removed in its entirety.
12. Section I.9 shall be revised to read “The minimum size pipe for service laterals shall be 6 inch; however, the POA may allow smaller service laterals on a case by case basis with the concurrence of the Palm beach County Health Department.”

13. Section I.10 shall be revised to read “Sewer Tie-in connections “Flexible rubber type connectors are not permitted.”
14. Section J shall be amended described in the Water/Wastewater Approved Materials and Equipment section of these Design Standards.

Section V – Reclaimed Water System

1. This Section shall be removed in its entirety.

Exhibits

1. Exhibit “A” – This exhibit shall be replaced in its entirety by the corresponding prevailing PBPOC Uniform Service Policy and Design Standards requirements.
2. Exhibit “B” – This exhibit shall be replaced in its entirety by the corresponding prevailing PBPOC Uniform Service Policy and Design Standards requirements.
3. Exhibit “C” – This exhibit shall be replaced in its entirety by the corresponding prevailing PBPOC Uniform Service Policy and Design Standards requirements.
4. Exhibit “D” – This exhibit shall be amended described in the Water/Wastewater Approved Materials and Equipment section of these Design Standards.
5. Exhibit “E” – This exhibit shall be replaced in its entirety by the corresponding prevailing PBPOC Uniform Service Policy and Design Standards requirements.
6. Exhibit “F” – This exhibit shall be replaced in its entirety by the corresponding prevailing PBPOC Uniform Service Policy and Design Standards requirements.
7. Exhibit “G” – This exhibit shall be replaced in its entirety by the corresponding prevailing PBPOC Uniform Service Policy and Design Standards requirements.
8. Exhibit “H” – This exhibit shall be replaced in its entirety by the corresponding prevailing PBPOC Uniform Service Policy and Design Standards requirements.
9. Exhibit “I” – This exhibit shall be replaced in its entirety by Exhibit C (latest revision) of the PBPOC Uniform Service Policy. The standard details depicted in Exhibit C will be made available to the Engineer of Record for use on the design, permit, construction and record drawings. No modifications to the standard details will be allowed without specific written request from the Engineer of Record and written authorization of the PBPOC POAPWS.
 - a. The “Pavement Replacement Detail,” Dr. No. N-006 from the NPBCID Engineering Standards Manual, latest revision shall be added to Exhibit C as Drawing No. 5.
 - b. The “Subaqueous Crossing – Directional Bore” detail, Dr. No. N-008A from the NPBCID Engineering Standards Manual, latest revision shall be added to Exhibit C as Drawing No. 11A.

Project Representatives and Authority of Project Representatives

Project Representatives acting on behalf of the POA may examine all construction and materials and may also examine preparation, fabrication or manufacture of components, materials and supplies. The Project Representative is not authorized to revoke, alter or waive any requirements of the approved plans or these specifications unless approved by the POA. The Project Representative is authorized to call to the attention of the Owner's Engineer or Contractor any failure of work or materials to conform to the plans or specifications. The Project Representative shall have the authority to reject materials or suspend the work until questions of issue can be referred to and decided upon by the POA or its designated agent. The Project Representative shall also have the authority to suspend the work when questions of safety or potential liability to the Park arise or unsafe conditions that may affect the work present. The Project Representative shall in no case act as foreman or perform other duties for the Project Engineer and/or Contractor nor interfere with the management of the work. The advice which the Project Representative may give shall in no way be construed as binding to the POA or releasing the Owner, his Engineer or Contractor from performing according to the intent of the plans, specifications and the POA’s Minimum Design and Construction Standards.

Required inspections will be scheduled for regular working hours only, except when service interruptions are involved. Work will not be scheduled for weekends or holidays unless approved in advance by the POA. The POA shall be provided with at least three (3) full working days' notice for scheduled (required) inspections, and a minimum of seven (7) days' notice is required for construction with service interruptions. If requested by the Owner's Engineer or Contractor or under emergency conditions, the POA may be able to accommodate requests for inspections with notice given in a shorter time frame. These requests and/or conditions will be evaluated on a case by case basis. Project Representative(s) will make routine passes to examine such items as piping restraint, material on site and clearances between conflicting lines. Scheduled inspections are required for jack and bores and pipe slippage through same, directional drills/bores, filling and flushing of potable water mains, pressure testing, flow testing of hydrants, application of coatings to manholes and wet wells, setting of wet wells, installation of lift station grounding rods, installation of base elbow anchors, prior to pouring any concrete, field welding/fusion of HDPE pipe and fittings, lift station start-ups, and tie-ins and/or modifications to POA facilities. Density test results shall be submitted to the POA prior to pressure testing. The contractor shall keep a copy of the current approved plans on the project site at all times. Approved work schedules are required prior to the beginning of construction for main shutdowns or for modifications to operating pipe systems.

It shall be the Owner's Engineer's responsibility to schedule inspections, and their qualified representative shall be present at all scheduled inspections. A scheduled inspection will be canceled if said representative is not present. The Engineer's representative shall be present during the entire length of the inspection. The Owner's Engineer shall ensure that pre-test pressure tests are conducted to minimize inspection failures. The Owner's Engineer shall prepare accurate record drawings and same shall be submitted to the POA for review and approval before a pressure test is scheduled. In any case, record drawings must be submitted and approved prior to request of a conditional final/final inspection or service being provided to any phase of a project.

All POA-authorized representatives shall be permitted to enter upon any property without prior notification for the purposes of examination, observation, measurement, sampling, testing, review and/or photocopying of records, or investigation as maybe necessary for enforcement of the permit or ordinance. Entry shall be made during daylight or operating hours unless abnormal or emergency circumstances require otherwise.

Official Reporting

For all Permitting Applications, Testing Reports/Results and Laboratory Results that require the inclusion of information pertaining to the POAPWS, the following information is to be used:

Public Water System (PWS) Name: Palm Beach Park of Commerce Association, Inc.

PWS I.D. 4504516

PWS Address: 15132 Park of Commerce Blvd., Suite 101

City: Jupiter

PWS Phone# (561) 625-8027

Any permitting applications, test reports/results and/or lab results that contain erroneous information regarding the POAPWS, including reference to the Palm Beach County Water Utility Department or Seacoast Utility Authority as the PWS, will not be signed until all documentation reflects the correct PWS information.